

**NEIGHBORHOOD CONSERVATION GUIDELINES  
AND  
HISTORIC OVERLAY ZONE STANDARDS**

**FOR**

**RIVERSIDE NEIGHBORHOOD  
HISTORIC OVERLAY**

**October 27, 2008**

**NEIGHBORHOOD CONSERVATION GUIDELINES  
AND  
HISTORIC OVERLAY ZONE STANDARDS  
FOR THE  
RIVERSIDE HISTORIC OVERLAY**

**ADAPTED BY STEVE FOX, GLENN HUNTER AND SARAH CHURCH  
THE RIVERSIDE HISTORIC COMMITTEE**

FROM THE NEIGHBORHOOD CONSERVATION GUIDELINES AND HISTORIC OVERLAY ZONE STANDARDS  
WRITTEN BY MAKERS ARCHITECTS AND URBAN DESIGNERS IN 1992 AND REVISED IN 2001

**EVERETT HISTORICAL COMMISSION**

SANDRA ALDER	MARK FRENCH
DAVE RAMSTAD	JACK O'DONNELL
JIM STANIFORD	SUE WALSH
CHANDRA SADRO	PAUL VAN SLYCK
BARBARA HARDMAN	NEIL ANDERSON
DAVID JOHANSON	

**CITY OF EVERETT PLANNING AND COMMUNITY DEVELOPMENT**  
ALLAN GIFFEN, DAVE KOENIG, JAN MESTON, ROSS JOHNSON

# Table of Contents

<b>Introduction</b>	<b>1</b>
Historical Background of the Neighborhoods	
Purpose of the Neighborhood Conservation Guidelines and Historic Overlay Zone Standards	
Organization of the Document	
Applicability	
<b>Neighborhood Conservation Guidelines</b>	<b>5</b>
A. Existing House Styles	6
B. Streetscape: Setbacks, Front Yards, Entries, and Fences	6
C. Massing	14
D. Rooflines	18
E. Windows and Doors	20
F. Exterior Materials and Detailing	21
G. Paint Scheme and Colors	23
H. Alleyways and Vehicular Access	23
I. Garages	24
J. Parking	25
K. Infill in Rear Yards	25
L. Tree Preservation	28
M. Landscaping	28
N. Commercial, Church and Religious Facility Construction	28
Historic Overlay Standards	30



# Historic Neighborhoods

*“A country without a past has the emptiness of a barren continent; and a city without old buildings is like a man without a memory.” British architect and planner Graeme Shankland.*

## Introduction

### Riverside Historic Overlay District

The Riverside Historic District is located Northeast of the city center overlooking the Snohomish river and has some of the oldest houses found within the city limits. Among the original residents of the district were working people who kept the factories on the bay and river running at full steam as well as some of those who owned them.

The homes in the Riverside area are mostly typical of late-nineteenth, early-twentieth century vernacular residential architecture. The majority of the homes fall into one of several styles: Craftsman, American Foursquare, and Colonial Revival. Several other home styles are represented in smaller quantities.

The historic Riverside neighborhood reflects the values and spirit of the turn-of-the-century Pacific Northwest. There are open front yards and each house faces the street with a clear, welcoming entrance. Because the automobile was not dominant, driveways, garages and stables were relegated to the alleyways, so as not to interfere with the view of homes from the street. As the first neighborhood in Everett, Riverside embodies the roots of early Everett. The Riverside Historic Overlay District consists mostly of homes built between 1903-1929, when Everett's population boomed.

The importance of this Historic District to the citizens of Everett comes from the sense of time and place and connection with the past that the district provides. This distinct identity is a result not only of the historic architecture but also of the sense of continuity in the neighborhoods that comes from people respecting and caring for their surroundings. In many ways, Historic Districts have the characteristics that we today define as vital to a livable neighborhood. They have both a natural and historic sense of identity, a connection to downtown and the surroundings, central park areas, inviting streets for pedestrians, and the possibility of growth without destroying the neighborhood values and character.

## **Purpose of the Neighborhood Conservation Guidelines and Historic Overlay Zone Standards**

The proximity to the downtown business district which made this area popular at the beginning of the 20<sup>th</sup> century is now creating development pressure that is a potential threat to the historic homes of the neighborhoods and the unique character of the streetscape. To increase residential density the city zoned parts of the neighborhood closest to the downtown for multi-family residential development. In recent years, there have been several homes built that are not compatible with the surrounding neighborhood. In particular, the southern edge of the neighborhood is slowly being encroached upon to make way for the construction of multi-family developments at the expense of historic single-family homes. The possibility of continuing demolition and redevelopment with larger structures and various architectural styles led the neighbors to look for development controls to protect the historic features of the neighborhood they value. The Everett Zoning Code has provisions for Historic Overlay Zones to promote the community stated goal of preserving historic neighborhoods. The Neighborhood Conservation Guidelines and the accompanying Historic Overlay Zone Standards are designed to protect the existing historic character of the homes and streetscape by instituting a reasonable amount of control and review over future site development. The Guidelines and Historic Overlay Zone Standards meet the goals of the provisions for special districts by setting guidelines for review and minimum zoning standards (to overlay the existing zoning) to ensure compliance and compatibility.

In areas of the neighborhoods zoned for multi-family, the Neighborhood Conservation Guidelines and Historic Overlay Zone Standards are designed not to curtail new development. Rather the Standards and Guidelines are designed to conserve the traditional neighborhood character while allowing for the increased density which the zoning allows. The most innovative part of this conservation plan allows the development of accessory dwellings accessed off the alley. This is an incentive to retain the historic homes within the multi-family zone while allowing for more density and homeowner income.

### **Organization of the Document**

The Neighborhood Conservation Guidelines provide illustrated examples of rehabilitation techniques to help the homeowner or builder. Whether one plans to renovate the exterior of a historical home, build an addition onto one, or construct a new building in the district, this handbook is a useful tool to educate and guide that effort.

The Historic Overlay Zone Standards which follow the Neighborhood Conservation Guidelines set specific requirements where necessary.

The Neighborhood Conservation Guidelines and Historic Overlay Zone Standards are complementary and meant to be used together in review of projects within the Historic Overlay Zones.

## Applicability

The boundaries of the Historic Overlay Zone are outlined on the following map and legally defined in the ordinance. The Everett City Council has adopted a list compiled by the Riverside Neighborhood Historic Committee of all the homes which are *historically significant* or *contributing to the historic character of the neighborhood*. *Historically significant or contributing* homes are those built prior to 1931 which retain the basic shape and architectural qualities associated with that era. Some homes classified as contributing have been substantially changed but still retain the potential to be restored to their original style and character.

The **Neighborhood Conservation Guidelines** apply to all development in the overlay zone. The purpose of the guidelines is to inform residents of the historic nature of their neighborhood, to educate property owners about the elements of the neighborhood which create its unique character, and to guide new development and additions to existing homes. The Neighborhood Conservation Guidelines and Historic Overlay Zone Standards will be the basis of Historical Commission review of duplex, multi-family and commercial development and of administrative review of single-family development. The Guidelines together with the Standards establish specific criteria so review will not be arbitrary. These Guidelines and Standards, designed specifically for historic neighborhoods, will take precedence over other zoning standards in case of a conflict.

The Everett Historical Commission review will apply to the following development situations:

- Proposed demolition of any buildings in the neighborhood listed as *historically significant* or *contributing to the historic character of the neighborhood*. Before demolition of a significant or contributing structure, there is to be a consideration and analysis of alternatives to demolition and review by the Historical Commission of the proposed new structure.
- Conversions of any buildings in the neighborhood listed as *historically significant* or *contributing to the historic character of the neighborhood* from single-family to duplex or multi-family or from residential to clinic, office or commercial.
- Additions over 150 square feet and visible from the street to any duplex or multi-family building.
- Construction of any new rear yard infill. Rear yard infill is defined as a second residential structure on the same lot as a residential structure existing at the time of original adoption of these Guidelines and Standards. Infill dwellings are intended to allow increased density while preserving historic structures.
- Construction of any new multi-family buildings, including duplexes, in the neighborhood.
- Construction of any new commercial structure, church or other religious facility or institution.

Administrative review by the staff of the Planning Department will apply to all development which is not reviewed by the Historical Commission.

The **Riverside Neighborhood Conservation Guidelines** and **Historic Overlay Zone Standards** apply to all development in the neighborhood.

**Riverside Neighborhood  
Conservation Guidelines  
And  
Historic Overlay Zone Standards**

**Intent**

To:

- Tailor zoning to the historic neighborhood
- Inform the community
- Educate and prepare developers and builders
- Guide review

**Application**

Applies to all development actions. This includes but is not limited to:

- Demolitions
- Conversations to duplexes or multifamily
- Additions to multifamily, single-family or commercial structures
- All new development

**Review Process**

Historical Commission Review for demolitions of contributing structures; duplex or multi-family projects; infill developments; commercial, church or religious facility developments.

Staff Administrative Review for all other projects

**Notification**

Historical Commission Review – Review Process II:

- Posting property
- Mailing notice to property owners within 500 feet, neighborhood leaders, and all those in the Historic Overlay.

Administrative Review – Review Process I:

- No public notice required.

# RIVERSIDE NEIGHBORHOOD CONSERVATION GUIDELINES

The **Neighborhood Conservation Guidelines** apply to all development in the Historic Overlay Zones. The purpose is to inform residents of the historic nature of their neighborhood, to educate property owners about the elements of the neighborhood which create its unique character, and to guide new development and additions to existing homes.

The Neighborhood Conservation Guidelines will guide the Historical Commission review of multi-family, commercial, or religious facility development in the Historic Overlay Zones and staff administrative review of all other development. The Guidelines and Standards are designed to complement each other and to establish specific criteria so review will not be arbitrary.

EDITED AND MODIFIED BY THE RIVERSIDE NEIGHBORHOOD HISTORIC COMMITTEE  
FOR THE EVERETT HISTORICAL COMMISSION 2008

## **A. Existing House Styles**

The majority of houses in the Riverside Historic Overlay District are one of three architectural styles: Craftsman, American Foursquare, or Colonial Revival. Each of these styles has distinct elements which combine to create the style, including massing, height, roof line, and windows and doors, and entry details, among others. New houses which are built in the overlay district are encouraged to be designed in one of these styles. It is important to maintain consistency in style of all elements on a house, and not to mix and match elements from different styles. The City of Everett Department of Planning and Community Development has available a booklet, “Your Old House, Historic Preservation Resource and Design Guide,” which gives guidance on the appropriate elements for each of these three styles. This booklet will also be helpful in guiding the design of additions to houses of these styles.

Photos of typical examples of these three house styles from Riverside are located on the following pages.

## **B. Streetscape**

Deep lawns, open front yards and clearly defined front entrances characterize the Historic District. Setbacks are perceived to be consistent throughout. Wide sidewalks, uninterrupted by curb cuts and driveways, parallel the streets. Some blocks are planted with street trees, either along the street or in the front yards. A distinctive character is given to some blocks by grand, old trees which dot the streets as individual specimens.

Residences are evenly spaced along the street, creating a consistent rhythm which adds to the diverse yet congenial atmosphere of the streetscape. Most of the homes have little or no side yard. Most lots abut an alley and few driveways encroach in the front yard with the exception of corner lots.

Homes are clearly approached from the street front. This clear welcome from the street strongly influences the streetscape. Typically a defined entryway, for example an overhang or porch, characterizes building fronts. The variety of entryways lends visual variation to buildings which are similar in style and materials.

Few fences interrupt the openness of the streetscape.

### **Guidelines for all development:**

#### **Front Yards**

1. Maintain the visual openness of all front yards. See the Historic Overlay Zone Standards, Section 8, for required setbacks.
2. Maintain traditional landscape patterns with open lawns, specimen trees as focal points, and massing of shrubbery near the house. See Section L, Landscaping.

## Examples of Riverside Streetscapes



3. Accessory buildings such as sheds and garages shall be located only at the rear of the lot, except that garages may be located elsewhere where there is no alley access. All access to on-site parking shall be via alleys when available with no exceptions. Attached garages, where allowed, must not dominate the building front. See Section H, Garages and Driveways.
4. Decks are prohibited in the front setback of any building unless integrated into the design of a porch.

### **Fences**

1. Fences within the front yard setback are generally discouraged, but if desired shall be no more than three feet six inches (3' 6") high, no more than 70% solid, and of a design which is compatible with the Historic Overlay District. Taller or more solid fences shall not be located in the front yard setback and should be set back at least five feet (5') behind the front face of the building. Fencing materials in front yards should be traditional, such as wrought iron or wood picket.
2. Chain link fences in front yards are prohibited.

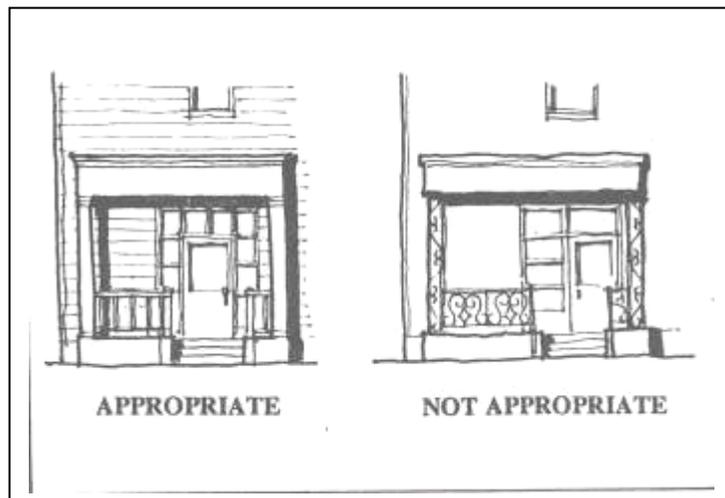
**Entries should be clearly visible from the street.**



## Entries

1. All new and buildings remodeled on the exterior shall present a front entrance facing and clearly visible from the sidewalk and provide pedestrian connections to the street. Buildings located on the front of a lot shall present a front entrance oriented toward the dominant street (e.g. Baker, Virginia, 21<sup>st</sup>, Leonard, Victor, and 19<sup>th</sup>.) Buildings located on the back of a lot which is not on a corner shall orient toward the dominant street and, when possible, present a front entrance visible from the sidewalk. Infill dwellings or buildings on the back of a corner lot shall orient toward the street to which they are adjacent.
2. Provide a covered space, entryway or porch, to provide weather protection over the front door. Entryways and a covered porch which is open on three (3) sides may project six (6) feet into the front setback. The base height of the ground floor shall be several steps above ground level.
3. Entryways should be of materials and proportions consistent with the neighborhood and the dominant treatment of the building. In general, wood is the proper material for doors, porches, etc.
4. Wood balustrades are strongly encouraged over prefabricated metal railings.
5. No more than two entry doors should be placed side by side. When more than two units are accessed in close proximity, it is preferable to have a single, highly articulated principal entry into a common lobby.

**Porches should be made of substantial materials, such as heavy columns and wood balustrades. The use of pre-fabricated metal railings is not recommended.**



# Arts and Crafts - Craftsman



# Colonial Revival



# American Foursquare



### **Grouped Mailboxes**

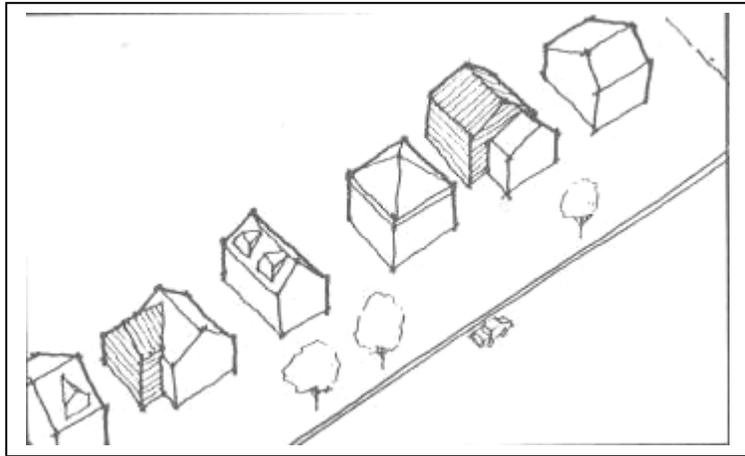
1. Grouped mailboxes shall not be located within the front setback. Mailboxes should be integrated into the entryway except where mail delivery is inhibited by fencing. Freestanding mailboxes must be appropriate to the style of the neighborhood.

### **Guidelines for renovations and additions to existing homes:**

#### **Setbacks**

1. Maintain the same *perceived* spacing between houses. Additions to existing homes should generally be set back from the front face so the visual character of the existing building is preserved.

**Additions to existing homes should generally be set back from the building edge.**

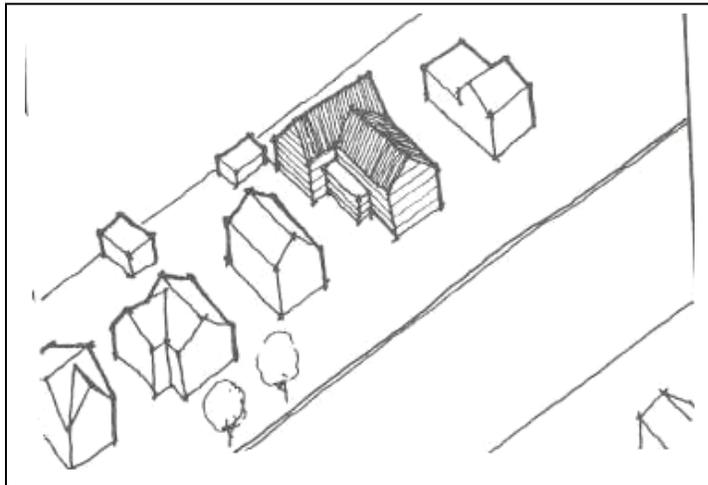


### **Guidelines for new development:**

#### **Setbacks**

1. Respect the existing setbacks from the street. See the Historic Overlay Zone Standards for required setbacks.

**Retain the street edge and the scale of the streetscape.**



## **C. Massing**

Buildings within the Historic Overlay Zone are generally typified by square to vertical proportions with prominent roofs accented by dormers. Some smaller houses such as those in one-story Colonial Revival style and bungalow form have horizontal proportions. The houses, typically 24 to 40 feet wide on individual lots with standard setbacks on both side property lines, create a prominent and repetitive street pattern. Houses are generally one, one-and-a-half or two stories with a consistent cornice or roof eave line at a height of 20 to 24 feet.

A building's size and proportions create its massing. Buildings which are too wide or too tall are incompatible with their neighbors and interrupt the consistent streetscape.

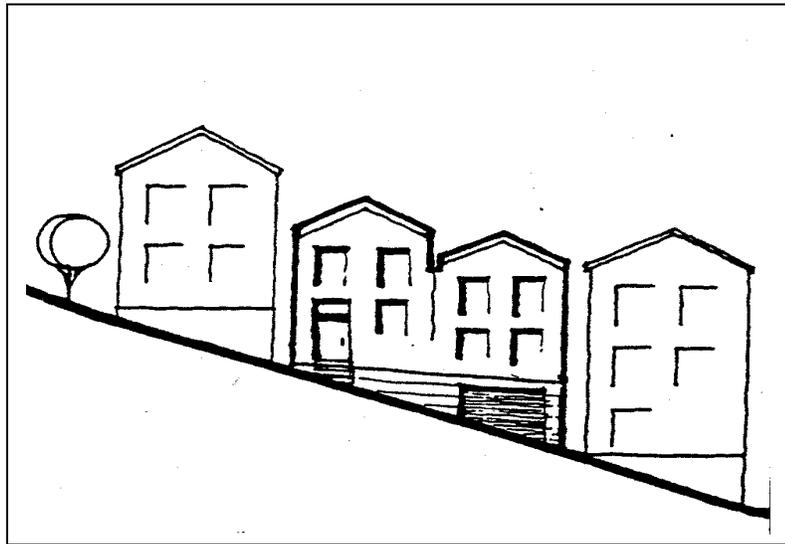
### **Guidelines for additions to existing homes:**

1. Additions should be of a complementary architectural character, with materials and construction methods which match the existing building and contribute to the overall character of the neighborhood. If the existing house has been modified in the past, it is encouraged to be improved to become conforming to the standards.
2. Additions should preserve the existing symmetrical or asymmetrical balance of the architectural composition.

### **Guidelines for new multifamily construction in R-3H and R-4H zones:**

1. The massing of new buildings should be in keeping with the character of the street and neighborhood. In order to maintain a consistent cornice line facing the Avenues, there shall be a prominent eave at no more than twenty-four (24) feet on new construction. See the Historic Overlay Zone Standards, Section 9, for allowable heights.

2. Buildings over 50 feet wide shall have enhanced modulation to reduce the apparent size of the building and provide a sense of individual residences in multiple-family structures. This can be achieved by the creative use of architectural elements such as prominent entries, varied window patterns, balconies, courtyards, changes in material or colors and/or building separation.
3. Buildings over 50 feet wide on a sloped site as illustrated below shall follow the contour of the slope. The building will step down the hill providing variety in roof heights and façades.

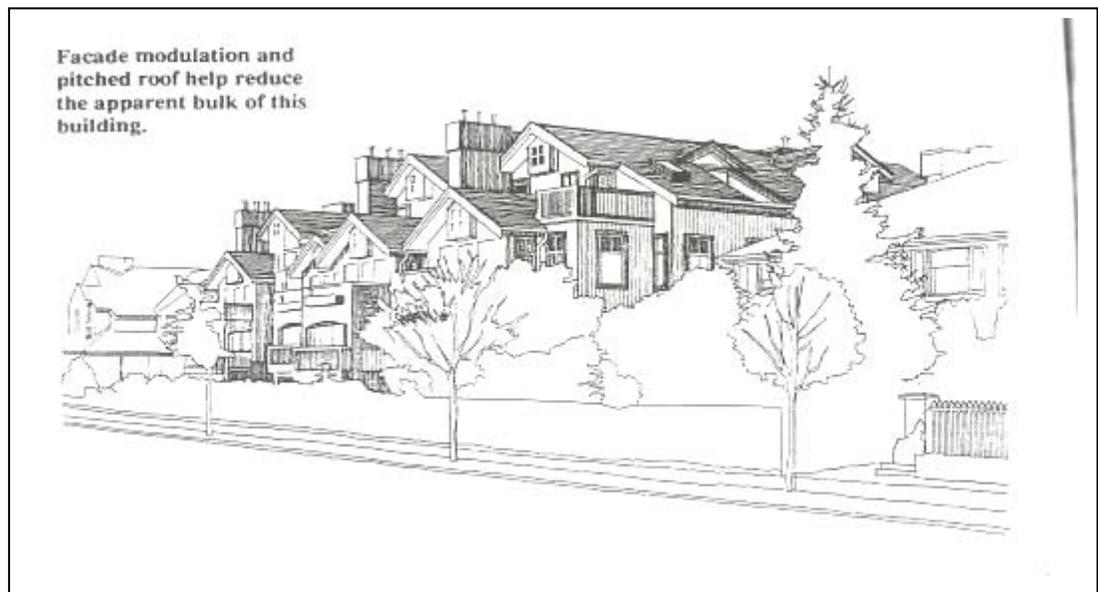


#### Modification of Height Standards in the R-3H and R-4H zones.

The Historical Commission has the option to allow a 10 percent increase in height in the R-3H Historic Overlay Zones. This modification is to be granted for exceptional design. It will be the proponent's responsibility to demonstrate exceptional design has been achieved. This will require the proponent to present plans that specifically identify the ways in which the project enhances the character of the neighborhood. The following are some of the factors the Historical Commission may consider:

- Demonstrable complementary response to the neighborhood architectural character, as evidenced by similar roof types and slopes, building materials, architectural elements and building proportions.
- A building designed to minimize impacts on adjacent structures and public views by increased side setback, recessed or stepped back upper floors and varied roof height.

- Positive relationship to a street corner by use of front yard type landscaping and facades with attractive building elements facing both streets.
- Specific architectural design features to reduce the apparent size of the building, to add human scale and provide visual interest. These features can include the use of bay windows, balconies, enhanced modulation and multiple entries to divide a large building into smaller identifiable pieces. The apparent size of a roof can also be reduced by varying the height, adding multiple eaves, chimneys, steeply pitched gables or dormers.



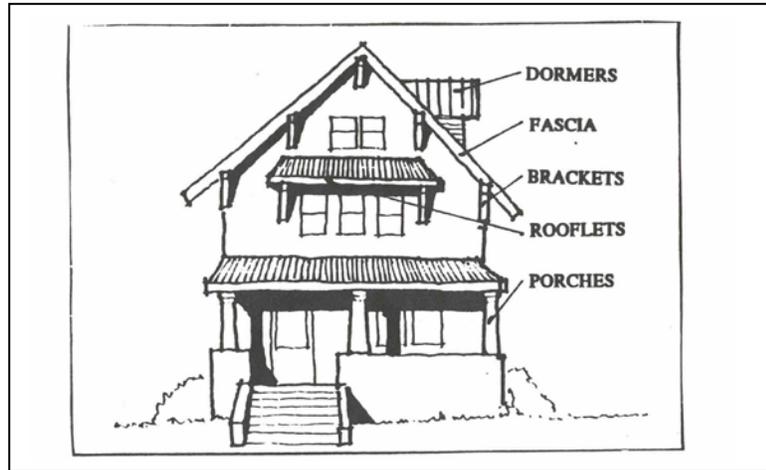


This design uses dormers, bay windows, and extensive architectural detail to reduce the apparent size of the building and relate to the neighborhood.

## D. Roof Lines

Pitched roofs give the Historic Overlay Zone a distinct visual character and add interest to the streetscape. Steep, sloping roofs are important to the character of the neighborhood, and the use of roof overhangs and deep cornices provides architectural interest and building variation. Secondary roof elements such as dormers, fascia, brackets (knee braces), cornice returns, and clipped gables are used creatively to enhance the roofs. Roofs shall always overhang the walls.

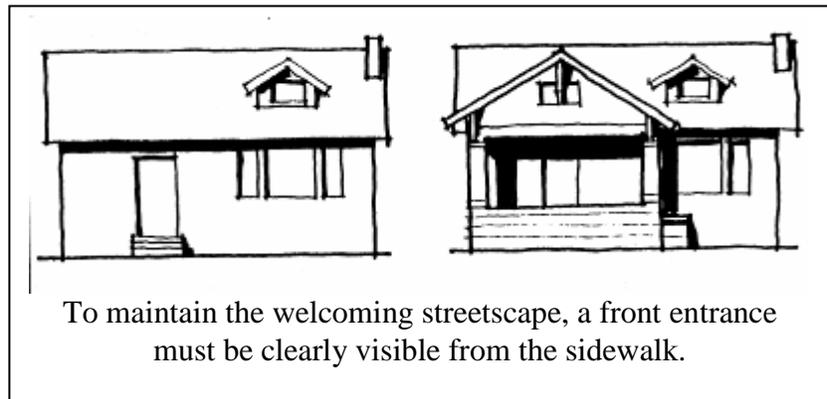
**Appropriately scaled secondary roof elements.**



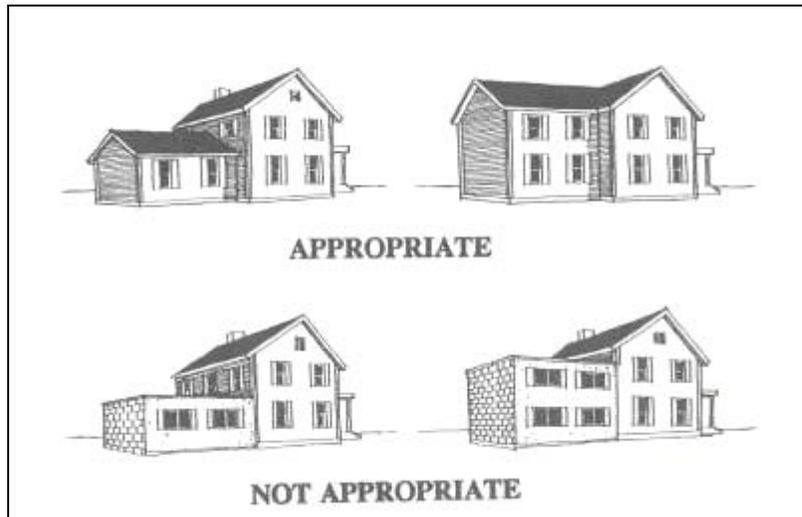
### **Guidelines for additions to existing homes:**

1. Maintain the forms of the existing front roof. In general, pitched, hipped or gabled roofs are the predominant roof forms of the neighborhood and should be used on additions visible from the street. Small dormers break up the roof and are found on most homes of the period. Some homes have clipped gables.
2. In some cases the roof line may be modified, but any alterations to roof lines should be sensitive to the form, pitch and symmetry of the existing roof and the overall style of the structure.

**Example of a typical Riverside home with and without its porch entry.**



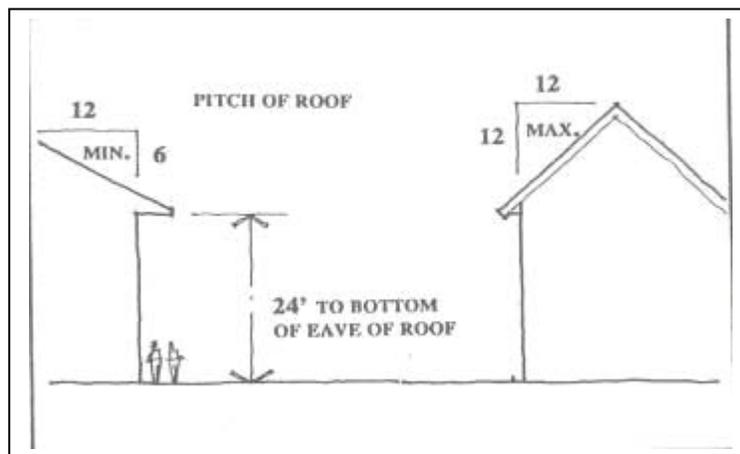
**Additions should be sensitive to the existing roof forms.**



**Guidelines for new construction:**

1. All new buildings shall feature prominent pitched roofs which slope a minimum 6:12 vertical to horizontal ratio and maximum 12:12 ratio. Additions to existing buildings may have a flatter pitch if it matches or is sensitive to the existing roof forms. Porches in particular may have a flatter pitch which is historically accurate.
2. The roof can contain living space with dormers providing light and air. Dormers shall not dominate the roof. They are secondary elements.

**Cornice heights and allowable minimum and maximum roof slopes.**



**Roof decks**

Roof decks are generally inappropriate. If allowed, they should be as unobtrusive as possible and integrated into the existing structure.

## **E. Windows and Doors**

Windows are important elements in the composition and style of a house and are typically highlighted or accented. They should be of consistent style with other architectural elements of a house. They are the eyes of a house, and when facing the street, lend a degree of safety and security to those walking by. A wide variety of window configurations can be seen in the Historic Overlay Zone, ranging from vertical in proportion to almost square and horizontal. However, windows which slide open horizontally are inconsistent with the historic character of the neighborhood and historic house styles. Changing the size or configuration of window openings on a historic house detracts from its style and character.

Typically on historic homes the window frames are made of wood and surrounded by a thick wood sash which accents and celebrates the window, while protecting it from wind and rain. In some instances, original windows have been replaced with aluminum frame windows which lack the depth and mass of the originals

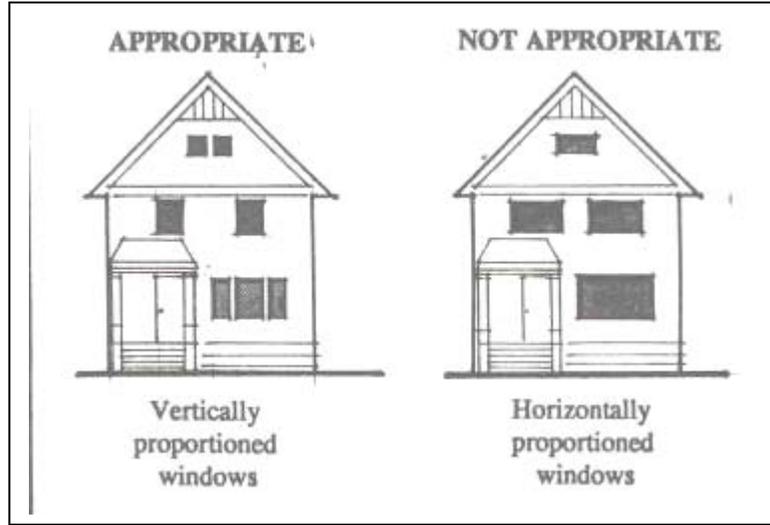
Stained glass that matches the period and leaded glass are also common historic window elements.

Doors should match the period and style of the home. Exterior storm doors made of aluminum are very visible from the street and can detract from the appearance of a home.

### **Guidelines:**

1. When replacing deteriorated windows or adding new windows to existing buildings, the windows should match the existing window size and style.
2. Window proportions should match the architectural style of the house. Horizontal windows should be of proportions and configurations found in the original windows of historical houses. Windows which slide horizontally are not in character with the historic neighborhood or historic house styles and shall be avoided.
3. Openings should indicate floor levels and should not occur between floors except where historically accurate.
4. Several windows can be grouped horizontally to accent a bay or interior room.

**Respect the existing historic proportions of windows and openings.**



6. The use of metal window frames is discouraged. If used, they should be recessed with wood window trim constructed around the frame to provide window depth consistent with the character of the historic neighborhood.
7. Vinyl-covered wood windows, which have the depth and solidness of a wood sash, are acceptable.
8. Windows with frames made of vinyl, fiberglass or similar materials may be used on new construction, but they should be recessed and wood window trim constructed around the frame to provide window depth consistent with the character of the historic neighborhood.
9. Front doors should be consistent with the architectural style of the house and the neighboring homes.
10. Front doors and porches should be located several steps above ground level. An exception to this may be granted if the adjacent houses have fewer steps to the porch.

## **F. Exterior Materials**

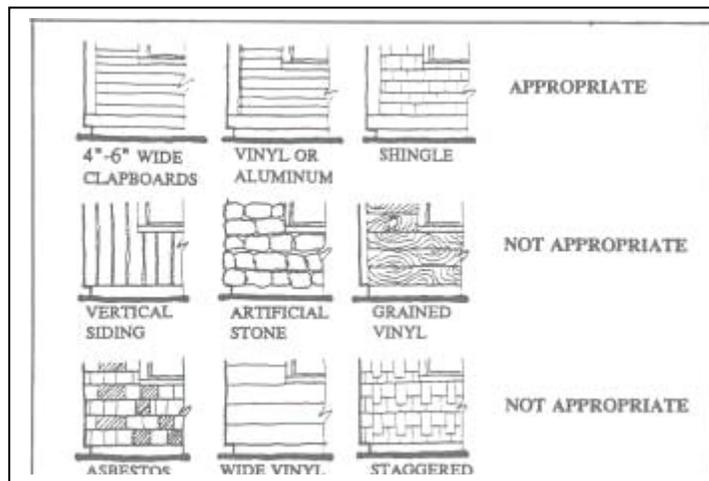
Historic exterior building materials reflect the craftsmanship of the era in which they were used. The abundant timber and the New England building traditions set the tone for the neighborhood. The predominant exterior building material is horizontal wood siding in a maximum width of 6 inches. The texture and pattern of wood siding enhances the visual qualities of the streetscape. Some Tudor style homes are present with a combination of wood and stucco exterior, and some later Craftsman homes have

incorporated brick or stone as accent materials. Roofs are typically wood shingles, shakes or asphalt shingles.

**Guidelines:**

1. Use traditional materials consistent with the scale and character of the street. The typical materials, wood siding with minimal stone or brick accents, and methods of construction found in the neighborhood are encouraged for all construction. Hardiplank or similar type concrete composite siding or equivalent is an acceptable substitution for wood. Generally, stucco and other troweled materials are not appropriate unless framed or trimmed with wood. Aluminum or plastic imitations of wood siding are not encouraged, but may be allowed on an addition to match existing siding.
2. Stucco, if used, should be combined with robust detailing of wood or brick and should be reserved for use only on homes where it is historically within character such as Tudors.
2. Mirrored glass, asphalt, asbestos and corrugated siding, exposed concrete block and plywood or T-111 siding are strongly discouraged as inappropriate building materials.

**Horizontal siding and trim up to 6" wide are almost always the best choice.**



## **G. Paint Scheme and Colors**

The choice of color for a building can greatly affect how well a building fits in with the neighborhood. But color choice is a personal decision on the part of a building owner and can be changed. In general, muted colors were the historic preference.

### **Guidelines:**

1. Everett's architectural expressions of color historically were conservative, emphasizing muted or earth shades or tones rather than pure hues. Brighter colors should be reserved to accent trim details and doorways and used in moderation. Exterior wall color choices should not be bright or garish.
2. Choose the number of colors applied to the exterior of a home sparingly. Usually combinations of three colors: the base, the walls or body of the house, and the trim, will be sufficient. Be observant of the color of the roofing material as well, as it is noticeable from the street.
3. Windows seen from the street can appear dark, so a light color is recommended for the sash, the part of a window frame which touches the glass.
4. A small paint chip will take on a life of its own on a whole house. It is suggested that a quart sample of the color scheme be applied to a section of the building as a test.
5. Consult paint sample booklet for historically appropriate colors.

## **H. Alleyways and Vehicular Access**

The absence of intrusive driveways is critical in establishing the visual continuity, pedestrian orientation and identity of the neighborhood. Existing garages are located at the rear of the lot with access provided by alleyways. There are apartment complexes which provide covered parking at the rear of the lot as well.

### **Guidelines for all development:**

1. On all sites served by alleys, access to all off-street parking shall be via the alley and no driveways from the main street will be permitted. Access to off-street parking for houses on the east side of Baker shall be from Fulton Avenue.
2. All service elements, such as dumpsters and trash rooms, shall be located in the rear yard. Access shall be via the alley.

## I. Garages and Driveways

The patterns of development in the era before the domination of the automobile have created a neighborhood which emphasizes the pedestrian approach. Garages and carports are located at the rear of the lot along alleyways. The sidewalk along the street is uninterrupted by curb cuts, and front yards are free of driveways, garages and parked cars.

### Guidelines for all development:

1. Detached garages shall be located off alleys, except where no alley access exists. Access to detached garages for houses on the east side of Baker shall be from Fulton Avenue. Where allowed, garages accessible from the street, attached or detached, should be architecturally integrated and never dominate the building. All garages shall be set behind the building entry.
2. Garages should reflect the material, style and construction of the original home.
3. In the construction and sheathing of garages, use materials such as wood siding or brick, which are compatible with the neighborhood and the existing home. Avoid incompatible finish materials such as concrete, especially concrete block. Siding materials should cover concrete block construction to within eight inches (8") of the ground.
4. Open carports shall not be visible from the street.

**Open carports under residences visually detract from the character of the neighborhood and the streetscape.**



## **J. Parking**

Parking affects the quality of the streetscape. In the Historic Overlay Zone, parking is located on the edges of the street or in garages/carports off the alleyways at the rear of the lot. The pedestrian orientation of the streetscape would be disrupted if cars were to park in the front yards.

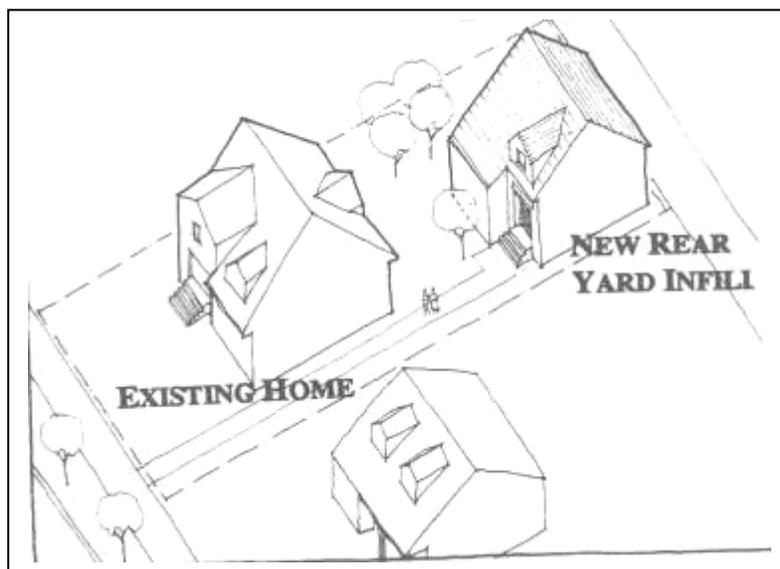
### **Guidelines:**

1. On-site parking shall not be located between the building and the public street, except where no alley access exists.
2. All access to on-site parking shall be via alleyways when available with no exceptions.
3. Provide off-street parking for all new development. See the Historic Overlay Zoning Standards, Section 7, for parking requirements.

## **K. Infill in Rear Yards**

Traditionally homes have a usable rear yard for the use of the residents. Some houses have accessory buildings or additions which take up a large percentage of the rear yard without affecting the streetscape.

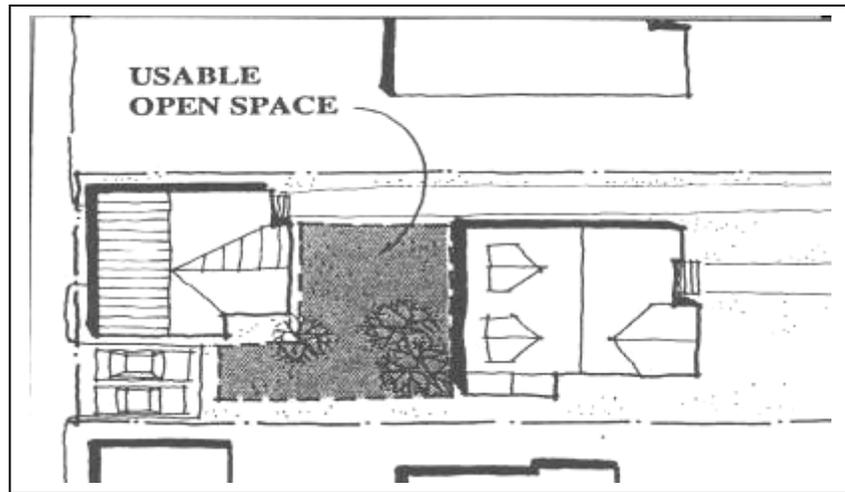
In R-3H and R-4H zones, rear yard infill (construction of a second residential building on the same lot as a residential structure existing at the time of original adoption of these Guidelines) is encouraged as an incentive to retain the existing historic buildings while allowing increased density. Rear yard infills are also allowed in the R-2H zone on lots of 7,500 square feet or more. Rear yard infills can provide a mix of housing types while preserving the single family atmosphere which is valued. The process of infilling rear yards and adding a new building requires sensitive and creative design.



**Guidelines for the construction of a second residential building on the same site:**

1. The design of the new building should be in character with the existing building and the neighborhood. The infill building should be secondary in size and scale to the existing building.
2. The existing house should be retained with minimal additions. The existing home should be restored in keeping with the positive aspects of the neighborhood character and its unique architectural features.
3. The infill building should not have significant adverse effects upon neighboring properties, such as markedly reducing privacy or blocking access to the sun.
4. Corner lot infill buildings should respond to and enhance the streetscape of both the north/south and east/west streets.
5. There should be enough separation between the existing building and the new infill building to provide for usable open space for the use of the residents. See the requirements of the Historic Zoning Overlay Standards, Section 15.

**Open space for the use of the residents.**



6. To retain openness to the alley, infill in the rear yards should be limited in width so as not to create a wall on the edges of the alley.
7. Infill buildings, when possible, should be visible from the sidewalk and street to enable identification. Pedestrian access from the street should be independent of the existing house and identifiable from the sidewalk.

**Entries to all rear yard infill should be clearly visible from the sidewalk if possible.**



## **L. Tree Preservation**

The existing trees of mature size and stately form contribute substantially to the character of the neighborhood. Some were planted during the founding of the neighborhood and are as old as the homes. Mature trees also contribute substantially to the monetary value of homes in the neighborhood.

### **Guidelines:**

1. Preserve and enhance the neighborhood aesthetic character by preventing indiscriminate removal or unsightly pruning of significant trees.
2. Unless a significant tree has been determined to be unhealthy or a threat to property or life, retain and respect the trees on private property.
3. Consult a certified arborist for direction on pruning
4. When planting new trees, choose species carefully so they will not block views when mature. A list of trees appropriate for urban settings, "Trees for Everett, A Photo Guide," is available from the Planning Department public counter.

## **M. Landscaping**

### **Guidelines for all new construction:**

1. The front yard of all new multifamily buildings shall be landscaped with lawn, shrubs and trees. The applicant shall submit a landscape plan, as required by the Core Residential Design Standards and Guidelines, for approval during the permit review process.

## **N. Commercial, Church and Religious Facility Construction in R-3H and R-4H Zones**

### **Guidelines for commercial, church and religious facility and institutions uses**

To complement the adjacent residential neighborhood, construction of commercial developments, churches or religious facilities or institutions should feature some of the following:

- An attractive walkway from the street to the building entrance and a covered, lit building entrance facing the street.

- Landscaping in the front that features landscape elements and plant materials similar to that of the neighborhood. This is typically a mix of trees, shrubs, lawn and flowers.
- Street trees and a landscaped planting strip.
- All site lighting directed away from neighbors and street.
- All service areas located in an inconspicuous location and screened.
- Front yard type landscaping and facades with building elements facing both streets if the building is on a corner lot.
- Complementary response to the neighborhood architectural character.
- Architectural elements to provide human scale.
- Use of durable and attractive building materials.
- Parking located behind the building and screened with landscaping from the street and neighboring houses.

# Riverside Historic Overlay Zone Standards